

VICINITY MAP

SCALE: 1" = 1,000'



SITE DATA TABULATION

APPLICANT: CITY OF WILMINGTON
 305 CHESTNUT STREET, P.O. BOX 1810
 WILMINGTON, NC 28402

PROPERTY OWNER: CITY OF WILMINGTON
 305 CHESTNUT STREET, P.O. BOX 1810
 WILMINGTON, NC 28402

PROJECT ADDRESS: WILMINGTON MUNICIPAL GOLF COURSE
 311 DONALD ROSS DRIVE
 WILMINGTON, NC 28409

TAX PARCEL IDENTIFICATION #: R06100-004-001-000
 RECORDED DEED BOOK: BK 252, PG 142
 PROJECT AREA (SUBJECT BOUNDARY): 4.8 ACRES (200,940 SF)
 TOTAL SITE AREA: 136.37 ACRES (5,940,277 SF)
 CURRENT ZONING: R-15-RESIDENTIAL DISTRICT
 CAMA LAND USE CLASSIFICATION: URBAN AND WATERSHED RESOURCE PROTECTION

MAXIMUM ALLOWABLE BUILDING HEIGHT: 35 FEET
 EXISTING LAND USE: GOLF COURSE
 PROPOSED LAND USE: GOLF COURSE
 LAND USE CODE: 797-RECREATIONAL (PUBLIC/NON-PARK)
 BUILDING LOT COVERAGE (MAX./PROPOSED): MAXIMUM = 50%
 *PROPOSED = 8.8% (17,647 SF)

SETBACK STANDARDS

	PROVIDED	REQUIRED
MINIMUM FRONT SETBACK	30 FT	30 FT
MINIMUM SIDE SETBACK	10 FT	10 FT
MINIMUM CORNER SETBACK	15 FT	15 FT
MINIMUM REAR SETBACK	25 FT	25 FT

FLOOD NOTE
 THE SUBJECT AREA LIES IN AN AREA OF MINIMAL FLOOD HAZARD (FLOOD ZONE X) AS INDICATED BY FEMA FLOOD ZONE PANEL 3720313600K BEARING AN EFFECTIVE DATE OF AUGUST 28, 2018. A PORTION OF THE PARCEL (OUTSIDE OF THE SUBJECT AREA) LIES WITHIN FLOOD ZONE AE (EL. 12 FEET) AS INDICATED BY FEMA FLOOD ZONE PANEL 3720313600K BEARING AN EFFECTIVE DATE OF AUGUST 28, 2018.

BUILDING INFORMATION
 EXIST. NO. OF BUILDINGS/SHEDS: 7 BUILDINGS
 PROP. NO. OF BUILDINGS/SHEDS: 6 BUILDINGS

IMPERVIOUS INFORMATION

TOTAL EXISTING IMPERVIOUS	236,300 SF
WITHIN PROJECT AREA	72,346 SF
EX. IMPERVIOUS TO BE REMOVED	15,118 SF

PROPOSED IMPERVIOUS

ASPHALT PARKING / DRIVEWAYS	12,723 SF
CONCRETE	1,211 SF
SIDEWALK	3,893 SF
BUILDINGS	6,914 SF
TOTAL PROPOSED IMPERVIOUS	24,741 SF

NET IMPERVIOUS = TOTAL PROPOSED IMPERVIOUS - EXISTING IMPERVIOUS TO BE REMOVED
 NET IMPERVIOUS = 24,741 SF - 15,118 SF = 9,623 SF

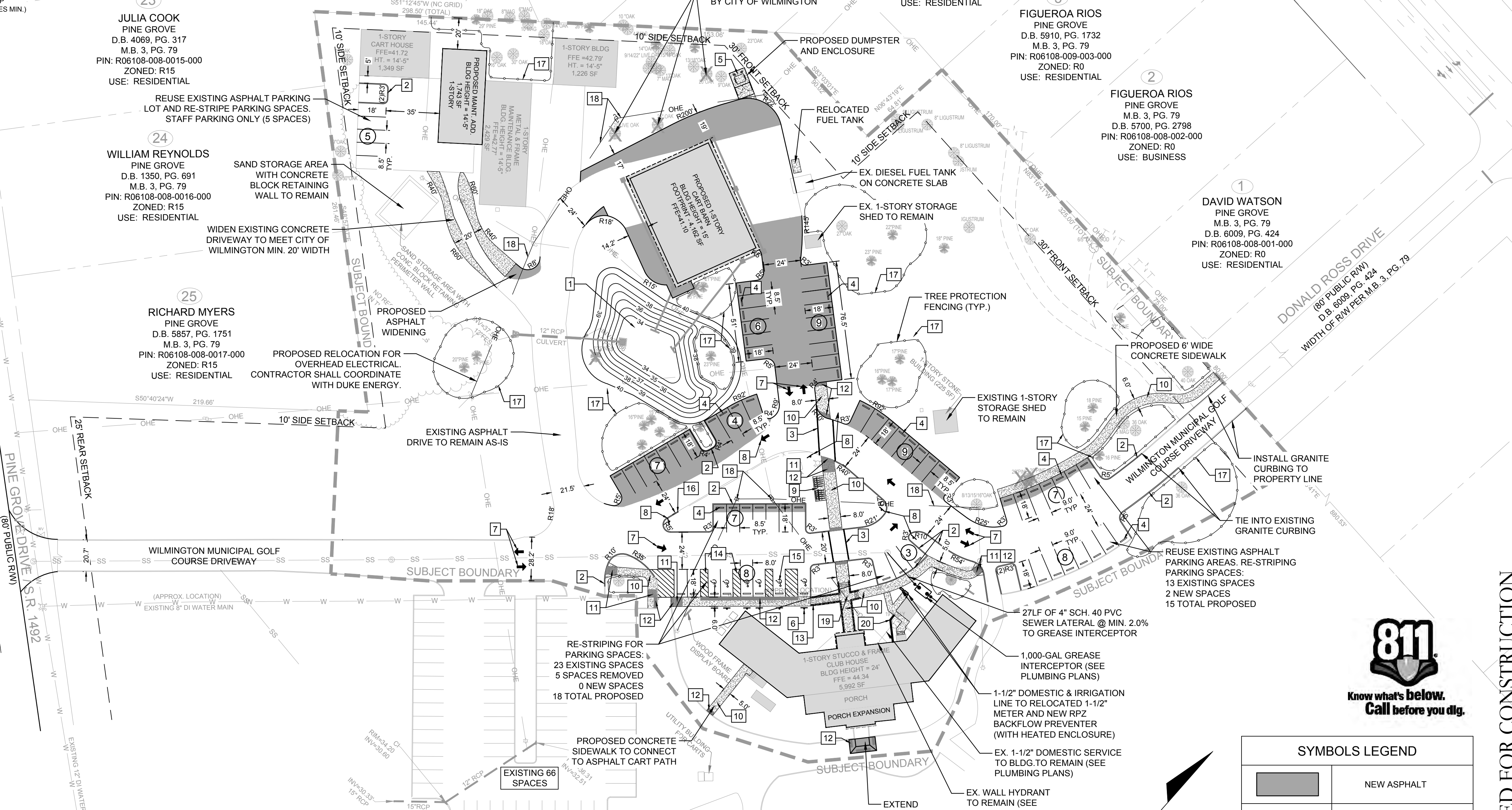
PARKING
 HANDICAP REQUIRED: 5 SPACES (WITH 1 HANDICAP VAN SPACE)
 HANDICAP PROVIDED: 6 SPACES (WITH 1 HANDICAP VAN SPACE)
 BICYCLE PARKING REQ'D: 10 SPACES
 *5 SPACES/25 VEHICLE PARKING SPACES (VPS) + 5 SPACES FOR EACH ADDITIONAL 100 VPS
 BICYCLE PARKING PROVIDED: 10 SPACES

PARKING CALCULATIONS

USE	STANDARD		INPUT	MIN. REQUIRED SPACES	MAX. ALLOWED SPACES
	MIN.	MAX.			
GOLF COURSE	50 PER 18 HOLES	150% OF MIN.	50 HOLES	50	75
ASSEMBLY HALL	1 PER 400 GSF OR 1 PER 4 SEATS (WHICHEVER IS GREATER)	1 PER 250 GSF OR 1 PER 3 SEATS (WHICHEVER IS GREATER)	3,211 GSF OF ASSEMBLY HALL OR 187 OCCUPANCY	47	62
WAREHOUSING GENERAL	1 PER 1,000 GSF	150% OF MIN.	11,439 GSF OF WAREHOUSING	11	17
TOTAL PARKING SPACES ALLOWANCES =				108	154
EXISTING PARKING SPACES =					110
PARKING SPACES REMOVED =					12
PROPOSED NEW PARKING SPACES =					41
TOTAL PROVIDED PARKING SPACES =				139 (INCL. 6 HANDICAP)	
ADEQUATE PARKING PROVIDED?				139 > 108 = YES	139 < 154 = YES

- KEY NOTES:**
- STORMWATER AREA: DETENTION / INFILTRATION AREA
 - GRANITE CURB REPLACEMENT: NOTE CITY PARKS MAY UTILIZE CITY STOCKPILE OF GRANITE CURB OR SUBSTITUTE WITH STAND-UP CURB
 - STRIPED CROSSWALKS: FOLLOWING CITY OF WILMINGTON STANDARDS. REFER TO DETAILS.
 - WHEEL STOPS: REFER TO DETAILS.
 - SINGLE DUMPSTER WITH ENCLOSURE: SHADOWBOX FENCE AND GATE DETAIL FOR DUMPSTER ENCLOSURE (REFER TO DETAILS)
 - HANDICAP PARKING SIGN: TYPICAL FOR EACH HC PARKING SPACE REFER TO DETAIL C-4.0
 - DIRECTIONAL ARROW STRIPING: PROVIDE DIRECTION ARROW STRIPING AS SHOWN. USE HIGHWAY MARKING PAINT - WHITE (2 COATS). REFER TO DETAIL C-5.0
 - SIGN LOCATION: DO NOT ENTER (R5-1) SIGN.
 - BICYCLE RACK: CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR REVIEW (10 SPACES MIN.)

- CONCRETE SIDEWALK: SEE DETAILS
- HANDICAP RAMP (SIDEWALK): SEE DETAILS
- DETECTABLE WARNING MAT: SEE DETAILS
- RAMP HANDRAILS: FOLLOWING ADA REQUIREMENTS. DESIGN BY OTHERS.
- HANDICAP ACCESS UNLOADING ZONE: SLOPE 2% MAX. EACH WAY (ADA COMPLIANT) AND STRIPE AS SHOWN.
- HANDICAP PARKING SYMBOL: SEE DETAILS
- END CURB TREATMENT: SEE DETAILS
- TREE PROTECTION FENCING: SEE DETAILS
- PROPOSED OVERHEAD POWER RELOCATION: CONTRACTOR TO COORDINATE WITH DUKE ENERGY AND FOLLOW ELECTRICAL PLANS
- HANDICAP RAMP / LANDING AREA: SEE DETAILS
- VISUAL SCREEN FENCE: SEE ARCHITECTURAL PLANS



CHEMICAL, FUEL, & FERTILIZER STORAGE
 STORAGE AND HANDLING OF MATERIALS SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS AND SHALL NOT DRAIN OR DISCHARGE TO THE NATURAL DRAINAGE PATTERN BUT HAVE SECONDARY STORAGE DEVICES IN ACCORDANCE WITH OSHA.

FIRE & LIFE SAFETY NOTES
 1. CONTRACTOR SHALL MAINTAIN AN ALL-WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
 2. ADDITIONAL FIRE PROTECTION AND ACCESSIBILITY REQUIREMENTS MAY BE REQUIRED DUE TO ANY SPECIAL CIRCUMSTANCES CONCERNING THE PROJECT.
 3. ICC BUILDING TYPES:
 - EXISTING CLUBHOUSE: TYPE V UNPROTECTED
 - PROPOSED CLUBHOUSE PORCH ADDITIONS: TYPE V UNPROTECTED
 - PROPOSED CART BARN: TYPE IIB NON-COMBUSTIBLE
 - PROPOSED MAINTENANCE BUILDING ADDITION: TYPE IIB NON-COMBUSTIBLE

TRAFFIC NOTES
 1. IF EXISTING PAVEMENT MARKINGS WITHIN THE PROJECT AREA HAVE WEATHERED TO THE POINT WHERE THEY ARE NO LONGER IN ACCORDANCE WITH MUTCD STANDARDS OF MAINTENANCE, IT IS THE DEVELOPER'S RESPONSIBILITY TO RETURN MARKINGS TO ACCEPTABLE STANDARDS AND MAINTAIN ALL PAVEMENT MARKINGS.
 2. ALL PROPOSED VEGETATION WITHIN SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30' TO 10'.

WATER & SEWER INFORMATION
 NO NEW FIRE, WATER, OR SEWER SERVICES ARE PROPOSED FOR ANY OF THE BUILDINGS.
 WATER: 0 GPD (PROPOSED USE)
 SEWER: 0 GPD (PROPOSED USE)

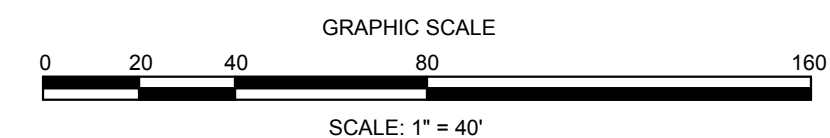
NOTE FOR EXISTING FIRE HOUSE TO BE DEMOLISHED
 WATER METER TO BE REMOVED WITH APPROVAL THROUGH CFPWA. CONFIRM IF THERE ARE ANY OTHER EXISTING CONNECTIONS AT THIS LOCATION.
 IF THERE ARE EXISTING CONNECTIONS, CONTACT THE OWNER IMMEDIATELY.

UTILITIES
 APPROXIMATE LOCATIONS OF EXISTING 8" AND 12" WATER MAINS SHOWN ON PLANS (INFORMATION PROVIDED BY CFPWA GIS SERVICES). CONTRACTOR SHALL VERIFY LOCATION IN FIELD.
 CONTRACTOR TO COORDINATE WITH DUKE ENERGY FOR ANY REQUIRED ELECTRICAL RELOCATIONS OR REMOVALS. SEE ELECTRICAL SITE PLANS FOR PROPOSED ELECTRICAL SCOPE OF WORK. FOR RELOCATED OVERHEAD ELECTRICAL LINES, A MIN. CLEARANCE OF 15' FROM BUILDINGS IS REQUIRED.

CITY OF WILMINGTON
 NORTH CAROLINA
 Public Services • Engineering Division
 APPROVED STORMWATER MANAGEMENT PLAN
 Date: _____ Permit #: _____
 Signed: _____

Approved Construction Plan
 Name: _____ Date: _____
 Planning: _____
 Traffic: _____
 Fire: _____

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



REVISIONS:

06/16/18	1. CITY OF WILMINGTON, TRC COMMENTS, REVIEW #1
08/27/18	2. CITY OF WILMINGTON, TRC COMMENTS, REVIEW #2
12/01/18	3. CITY OF WILMINGTON, TRC COMMENTS, REVIEW #3
01/11/19	4. C.O.W. TRC COMMENTS - TRANSPORTATION
02/15/19	5. CITY OF WILMINGTON - TREE & DUKE ENERGY COMMENTS

CLIENT INFORMATION:
PARAMOUNT ENGINEERING, INC.
 122 Cinema Drive
 Wilmington, North Carolina 28403
 (910) 791-6707 (O) (910) 791-6760 (F)
 NC License #: C-2846

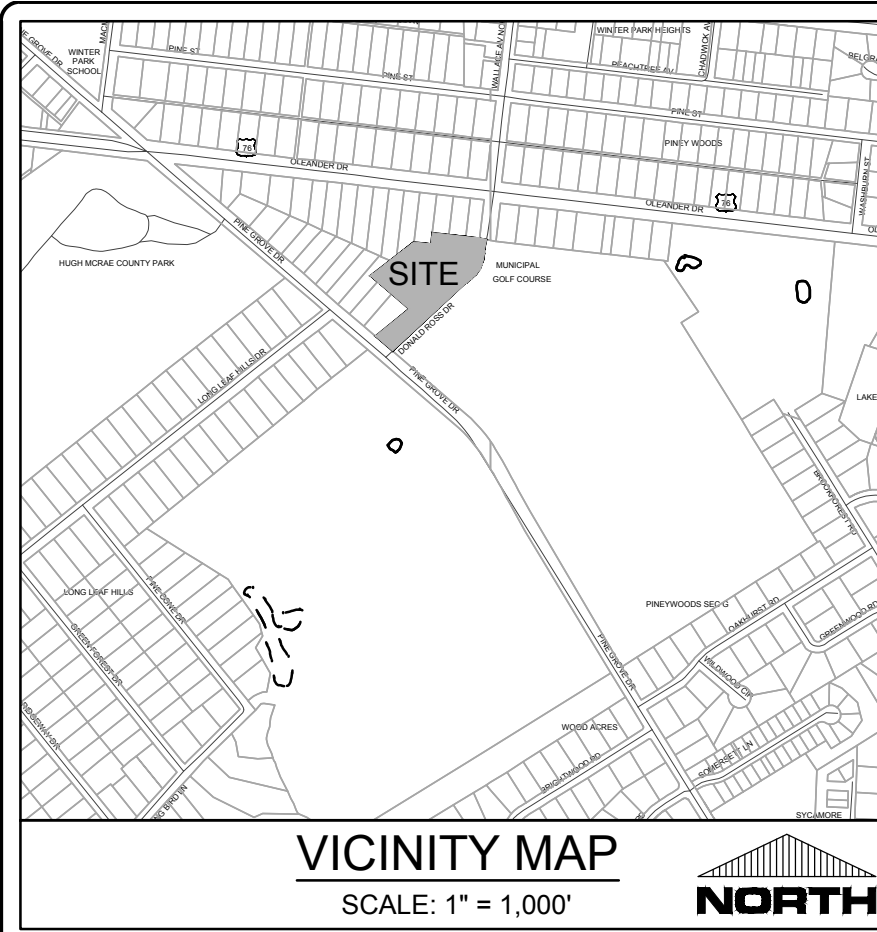
PARAMOUNT ENGINEERING, INC.
 122 Cinema Drive
 Wilmington, North Carolina 28403
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 NC License #: C-2846

SITE & UTILITY PLAN
 WILMINGTON MUNICIPAL GOLF COURSE
 311 DONALD ROSS DRIVE
 WILMINGTON, NC 28409

PROJECT STATUS
 PRELIMINARY LAYOUT:
 RELEASED FOR CONSTRUCTION:
 DATE: 02/15/19
 SCALE: 1" = 40' A/E: RBE
 DRAWN: RBE
 CHECKED: RBE

C-2.2
 PEI JOB#: 18152.PE

FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION



- GENERAL NOTES:**
1. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL STATE OF NC, CITY OF WILMINGTON, AND NEW HANOVER COUNTY STANDARDS AND SPECIFICATIONS.
 2. THE CONTRACTOR SHALL PLACE INLET PROTECTION AROUND ALL STORM DRAIN INLETS TO PROTECT THE SYSTEM FROM COLLECTING SEDIMENTATION DURING CONSTRUCTION. INLET PROTECTION SHALL REMAIN IN PLACE UNTIL THE ROADS ARE PAVED.
 3. CONTRACTOR SHALL ADJUST ALL FRAMES OF EX. UTILITY INFRASTRUCTURE WITHIN ASPHALT OVERLAY AND NEW ASPHALT AREAS TO MATCH PROPOSED GRADES.
 4. ALL PROPOSED SPOT ELEVATIONS SHOWN ARE PROPOSED EDGE OF PAVEMENT UNLESS NOTED OTHERWISE.
 5. ALL ROOF DRAINS AND IMPERVIOUS SURFACES SHALL BE DIRECTED TOWARDS ON-SITE COLLECTION SYSTEM. NO ROOF DRAINS OR IMPERVIOUS AREA SHALL BE DIRECTED OFF-SITE WITHOUT ENTERING THE ON-SITE COLLECTION SYSTEM FIRST.
 6. ALL SIDEWALK CROSS SLOPES HAVE BEEN GRADED TO MEET ADA REGULATIONS. CONTRACTOR SHALL CONFIRM GRADES BEFORE PLACING PAVEMENT OR SIDEWALKS AND REPORT ANY DISCREPANCIES TO OWNER AND/OR ENGINEER.
 7. THE CONTRACTOR SHALL USE EITHER RCP (CL. III or CL. IV) OR ADS N-12 HP PIPE FOR THE STORM DRAINAGE SYSTEM UNLESS NOTED OTHERWISE. IF THE CONTRACTOR CHOOSES TO USE ADS N-12 HP STORM PIPE, IT SHALL BE INSTALLED TO MANUFACTURER SPECIFICATIONS. IN ADDITION, THE CONTRACTOR SHALL BE SURE TO PROVIDE CONCRETE COLLARS AROUND EACH F.E.S. TO PREVENT FLOATATION IF PP PIPE IS CHOSEN.
 8. CONTRACTOR SHALL COORDINATE WITH OWNER TO DETERMINE IF A GEOTECHNICAL ENGINEERING REPORT WAS COMPLETED FOR THE SITE.
 9. CONTRACTOR SHALL STAKE SILT FENCE ALONG LIMITS OF DISTURBANCE LINE. THE SILT FENCE LINETYPE IS OFFSET ON THE DRAWING FOR CLARITY.

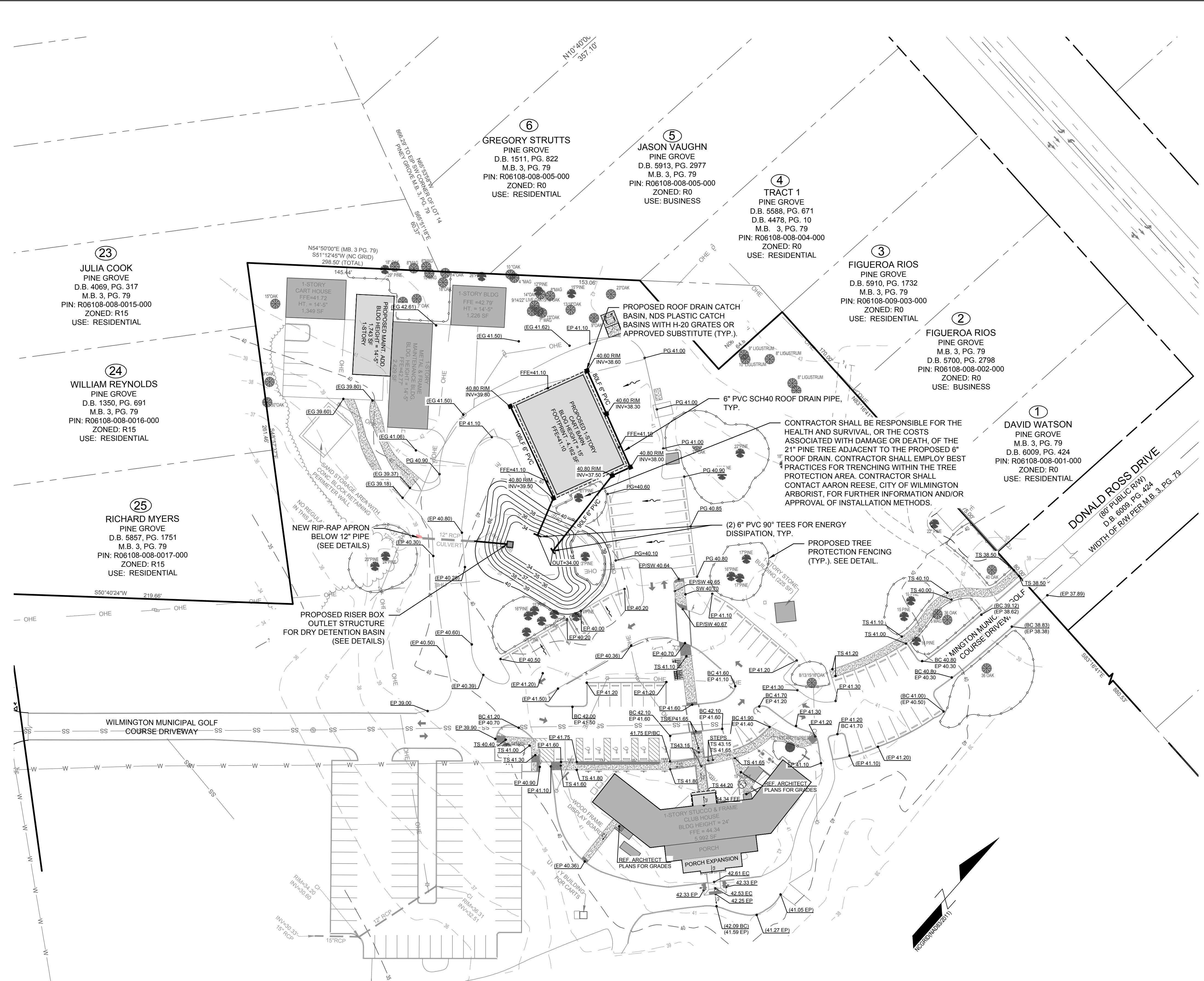
- ASPHALT AREA NOTE:**
1. SITE CONTRACTOR SHALL STRIP TOPSOIL AND ANY UNSUITABLE MATERIAL AND PROVIDE CUT/FILL OPERATIONS TO PROVIDE A COMPACTED CONTROLLED SUBGRADE, IN ACCORDANCE WITH THE SUBSURFACE GEOTECHNICAL EXPLORATION AND TECHNICAL SPECIFICATIONS.

- BUILDING PAD NOTE:**
1. SITE CONTRACTOR SHALL STRIP TOPSOIL AND ANY UNSUITABLE MATERIAL AND PROVIDE CUT/FILL OPERATIONS TO PROVIDE A COMPACTED CONTROLLED BUILDING PAD, IN ACCORDANCE WITH STRUCTURAL DRAWINGS.

- STORMWATER NOTE:**
1. THIS PROJECT DRAINS TO AN EXISTING DEPRESSION THAT'S BEING CONVERTED TO A DRY DETENTION BASIN.
 2. REFERENCE INFILTRATION CONSTRUCTION NOTES ON DETAILS SHEET.

- SPOT GRADE LEGEND:**
- CB = CATCH BASIN
 - DCB = DOUBLE CATCH BASIN
 - DI = DROP INLET
 - DDI = DOUBLE DROP INLET
 - YI = YARD INLET
 - MH = STORM MANHOLE
 - TC = TOP OF CURB ELEVATION
 - GC = GUTTER CURB (FLOW LINE) ELEVATION
 - CC = CURB CUT (FLUME) ELEVATION
 - PG = PROPOSED GRADE (GROUND)
 - EP = EDGE OF PAVEMENT
 - EC = EDGE OF CONCRETE
 - TS = TOP OF SIDEWALK ELEVATION
 - CL = CENTERLINE
 - INV = INVERT
 - FFE = FINISH FLOOR ELEVATION
 - TWL = TOP OF WALL ELEVATION
 - BWL = BOTTOM OF WALL ELEVATION
 - (EG) = EXISTING GRADE
 - (XX) = EXISTING ELEVATIONS, TYP.

- LEGEND:**
- [Symbol] INLET PROTECTION
 - [Symbol] STORM INLET (CURB & DROP)
 - [Symbol] STORM MANHOLE
 - [Symbol] SPOT GRADES
 - [Symbol] DRAINAGE FLOW ARROWS



CONTRACTOR RESPONSIBILITY: CONTRACTOR SHALL BE RESPONSIBLE FOR THE HEALTH AND SURVIVAL, OR THE COSTS ASSOCIATED WITH DAMAGE OR DEATH, OF THE 21" PINE TREE ADJACENT TO THE PROPOSED 6" ROOF DRAIN. CONTRACTOR SHALL EMPLOY BEST PRACTICES FOR TRENCHING WITHIN THE TREE PROTECTION AREA. CONTRACTOR SHALL CONTACT AARON REESE, CITY OF WILMINGTON ARBORIST, FOR FURTHER INFORMATION AND/OR APPROVAL OF INSTALLATION METHODS.

PROPOSED TREE PROTECTION FENCING (TYP.): SEE DETAIL.

PROPOSED ROOF DRAIN CATCH BASIN, NDS PLASTIC CATCH BASINS WITH H-20 GRATES OR APPROVED SUBSTITUTE (TYP.):

NEW RIP-RAP APRON BELOW 12" RCP CULVERT (SEE DETAILS):

PROPOSED RISER BOX OUTLET STRUCTURE FOR DRY DETENTION BASIN (SEE DETAILS):

(2) 6" PVC 90° TEES FOR ENERGY DISSIPATION, TYP.

SEE ARCHITECT PLANS FOR GRADES:

CITY OF WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN

Date: _____ Permit # _____

Signed: _____

Approved Construction Plan

Name _____ Date _____

Planning _____

Traffic _____

Fire _____

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

NCDENR PWSS WATER PERMIT #: _____

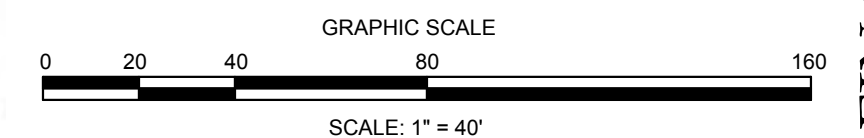
WATER CAPACITY: _____ GPD

DWO SEWER PERMIT #: _____

SEWER CAPACITY: _____ GPD

SEWER SHED # AND PLANT: _____

SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)



FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION

REVISIONS:

02/15/19	1. CITY OF WILMINGTON - ARBORIST COMMENTS
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CLIENT INFORMATION:

SAWYER SHERWOOD & ASSOCIATE ARCHITECTURE
124 MARKET ST, WILMINGTON, NC 28403

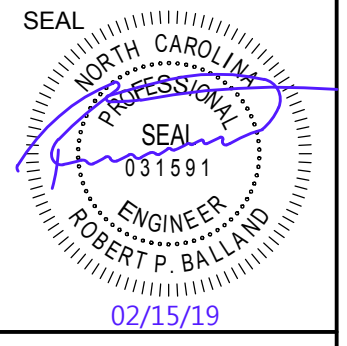
PARAMOUNT ENGINEERING INC.
122 Cinema Drive
Wilmington, North Carolina 28403
(910) 791-6707 (O) (910) 791-6760 (F)
NC License #: C-2846

GRADING-DRAINAGE-EC PLAN

WILMINGTON MUNICIPAL GOLF COURSE
31.1 DONALD ROSS DRIVE
WILMINGTON, NC 28409

PROJECT STATUS:

DATE: 02/15/19
SCALE: 1" = 40' AEC
DRAWN: [Name]
CHECKED: [Name]



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PEI JOB#: 18152.PE